

## INVITATION TO BID

The Project and Contract Documents are titled:

Bingham Park  
Building Relocation

Owner's Representative:

The City of Sedro-Woolley  
325 Metcalf Street  
Sedro-Woolly, WA 98284  
Attn: Eron Berg, City Supervisor  
(360) 855-1661  
eberg@ci.sedro-woolley.wa.us

Architect:

Mark Christ, Architect  
810 Bennett Street  
Sedro-Woolley, WA 98284  
Attn: Mark Christ  
(360) 855-1546  
mark@markchrist.com

### DESCRIPTION OF THE PROJECT:

The relocation of an existing building located at Bingham Park, Sedro-Woolley to another location within the Park as follows:

The existing utilities shall be disconnected and capped. The existing building (from the sill plates up) shall be lifted from the existing foundation and moved to the new location within Bingham Park. A new concrete stemwall foundation and wood framed floor structure shall be constructed under the existing building. The building shall be lowered and secured to the new foundation. Holes created in the existing walls for the relocation of the building shall be patched to match existing. The new connection to water supply, sanitary sewer, and natural gas. The installation of foundation drains and backfill around the perimeter of the building. Asphalt paving to the west side of the building. The installation of splash blocks.

Work by others not in contract (NIC) as follows:

The demolition and removal of the existing foundation.

### DRAWINGS AND PROJECT MANUAL:

One set of Construction Drawings and one copy of the Project Manual will be on file for examination at The City of Sedro-Woolley City Hall, 325 Metcalf Street, Sedro-Woolley, Washington.

Construction Drawings for each Building and the Project Manual may be purchased at The Blueprint Company, 909 Riverside Drive, Mount Vernon, Washington.

No refund is available for the cost of Drawings and project Manuals.

**PREBID MEETINGS:**

A Pre-bid Meeting will be held at The City of Sedro-Woolley City Hall, 320 Metcalf Street, Sedro-Woolley, Washington at 2:00 P.M., on Monday, May 18<sup>th</sup>, 2009. A Second Pre-bid Meeting will be held at The City of Sedro-Woolley City Hall, 320 Metcalf Street, Sedro-Woolley, Washington at 2:00 P.M., on Tuesday, May 26<sup>th</sup>, 2009. Attendance at one of these Pre-Bid Meetings is mandatory for all Contractors wishing to submit a bid. Attendance and Minutes will be recorded by the Architect. Copies will be mailed to those in attendance, Listed Contractors, and Plan Holders within 3 working days.

**SUBSTITUTION REQUESTS:**

Written requests for Clarifications and written Substitution Requests may be e-mailed or faxed to the Architect at any time. Said requests must be received by the Architect by Tuesday, May 26<sup>th</sup>, 2009.

**ADDENDUMS:**

Addendums issued will be sent ONLY to those in attending the PreBid Meeting, Plan Holders, or Subcontractors and Vendors having submitted a written request for clarification or a written substitution request prior to Tuesday, May 26<sup>th</sup>, 2009.

**BID PROCURMENT SCHEDULE:**

Advertisement for Bids	Wednesday, May 6 <sup>th</sup> , 2009
Advertisement for Bids	Wednesday, May 13 <sup>th</sup> , 2009
First Pre-Bid Meeting	Monday, May 18 <sup>th</sup> , 2009
Addendum #1 issued	Thursday, May 21 <sup>st</sup> , 2009
Second Pre-bid Meeting	Tuesday, May 26 <sup>th</sup> , 2009
Requests for Clarification and/or Substitution Due	Tuesday, May 26 <sup>th</sup> , 2009
Final Addendum issued	Friday, May 29 <sup>th</sup> , 2009
Bids Due:	Monday, June 1 <sup>st</sup> , 2009

**BID FORM:**

Bid Form, to be entitled to consideration, must be made in accordance with the following instructions:

1. Bid Form shall be in the form provided. All blank spaces in the Bid Form shall be fully filled, the signature shall be in longhand, and the completed form shall be without interlineation, alteration, or erasure.
2. Bid Form shall not contain any recapitulation of the Work to be performed. No oral, telegraphic, or telephone proposals or modifications will be considered.
3. Bid Form shall be addressed to the Owner, and shall be delivered to The City of Sedro-Woolley City Hall, 320 Metcalf Street, Sedro-Woolley, Washington enclosed in an opaque sealed envelope marked "Bid Form" and bearing the title of the Work and the name of the bidder, no later than 2:00 P.M., on Monday, June 1<sup>st</sup>, 2009.
4. Bids will be publicly opened and read immediately after the time of receipt. Bidders may be present at the opening, but no further notice will be given except in the event of a change of opening time.

**BID SECURITY:**

Bid Security is required with the bid in an amount not less than 5 percent of the amount bid for the Stipulated Sum, made out payable to The City of Sedro-Woolley. Bid Security may be Bid Bond, cashier's check, or certified check. If Bid Bond it shall be on Form of Bid Bond, AIA Document A310, latest edition

**AWARD OF CONTRACT:**

The bidder to whom the award is made will be promptly notified and, within 7 calendar days from the date of such notification, he shall execute the Abbreviated Form of Agreement Between Owner and Contractor, AIA Document A107, 1997 edition.

**TIME FOR COMPLETION:**

The Contract Time allotted for Substantial Completion of the Work is within 60 calendar days after the Notice to Proceed as stated on the Bid Form and in the Supplementary Conditions.

**REJECTION OF BIDS:**

The bidder acknowledges the right of the Owner to reject any or all bids, to waive any informality or irregularity in any bid received, and to accept other than the lowest bid. In addition, the bidder recognizes the right of the Owner to reject a bid if the bidder failed to furnish any required bid security, or to submit the data required by the bidding documents, or if the bid is in any way incomplete or irregular.

**SUBCONTRACTOR LISTING**

SHB 1370, effective July 25, 1993, requires bidders to list all subcontractors and categories of work performed for any bid exceeding one hundred thousand dollars if subcontract amount exceeds ten percent of the submitted bid. The subcontractor listing must be submitted either with the bid, or within one hour of the date and time of bid submittal, to be considered a responsive bid.

**GUARANTY BONDS:**

Performance Bond, Labor and Material Payment Bond, AIA Document A311 are required and the bidder's attention is drawn thereto

**END OF SECTION**

# BID FORMS

City of Sedro-Woolley  
325 Metcalf Street  
Sedro-Woolley, WA 98284

Having carefully examined the General Conditions, Supplementary Conditions, Drawings entitled Bingham Park Building Relocation dated 04/27/09 and Project Manual entitled Bingham Park Building Relocation dated 04/27/09 and all of the Addenda issued numbered \_\_\_\_\_, as well as the premises and the conditions affecting the Work, the Undersigned proposes to provide the Work for the Stipulated Sum as set forth below: Applicable Washington State Sales Tax is not included in the bid and will be added to each progress payment request.

TOTAL BASE BID

\_\_\_\_\_ Dollars (\$\_\_\_\_\_)

If the undersigned is notified of the acceptance of this Bid within thirty calendar days of the time set for opening of the Bid, the undersigned agrees to execute a Contract for the above Work for the above-stated compensation in the form of the Contract attached hereto and to commence Work within ten days after the execution thereof.

The Undersigned agrees if awarded the Contract, to Substantially complete the Work within 60 calendar days after the Notice to Proceed.

**SUBCONTRACTOR LISTING:**

Work Category	Subcontractor Name
_____	_____
_____	_____
_____	_____
_____	_____

Very truly yours,

\_\_\_\_\_  
\_\_\_\_\_

Washington License No: \_\_\_\_\_ Date: \_\_\_\_\_

END OF SECTION

## SUPPLEMENTARY CONDITIONS

UNLESS EXPRESSLY OTHERWISE INDICATED, THE FOLLOWING REQUIREMENTS SUPPLEMENT THE REFERENCED ARTICLES OF THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION OF A SMALL PROJECT" (AIA DOCUMENT A205, 1993 EDITION) AND SUPERSEDE THEM WHERE THEY CONTRADICT THE SAME.

### CONTRACT DOCUMENTS (Article 7)

- A. ADD paragraph 7.5 Formal request for all substitution items must be received by the Architect by Tuesday, May 26<sup>th</sup>, 2009. An Addendum will be issued Friday, May 29<sup>th</sup>, 2009 listing all accepted substitutions. No substitutions will be accepted after bids are received except as may be necessary due to product lead time (or) as may benefit the Owner as determined by the Architect.

### OWNER (Article 8)

- A. DELETE paragraph 8.1
- B. ADD paragraph 8.4 The Owner will obtain Building Permits and will pay for all Building Inspections.

### CONTRACTOR (Article 9)

- A. DELETE from paragraph 9.5 "and shall secure and pay for the building permit and other permits and government fees, licenses, and inspections necessary for proper completion of the work".
- B. ADD to paragraph 9.5 Applicable sales tax shall be included in progress payments as provided in Article 4 of this agreement.
- C. ADD paragraph 9.15 All Work shall be performed pursuant to the provisions of Chapter 39.12 RCW amended, requiring the payment of Prevailing Wages. All Work shall be performed pursuant to the Washington State Law Against Discrimination RCW 49.60 and Title VII of the Civil Rights Act of 1964. Copies of the Prevailing Wage rates may be obtained from the Washington State Department of Labor and Industries.
- C. ADD paragraph 9.16 The Contractor who will perform the moving of the building shall be qualified and experienced with this type of work. The Owner understands that certain cracks in GWB and Glass may occur during move. Contractor shall be liable for structural damage resulting from move in the amount of the replacement value.

### TIME (Article 14)

- A. ADD paragraph 14.4 The Work shall be Substantially Complete within ninety (60) consecutive calendar days after the Notice to Proceed, and shall be Finally Complete within Thirty (30) consecutive calendar days thereafter. By executing the Agreement the Contractor confirms that the Contract Time is a reasonable period for performing the Work.

#### PAYMENTS AND COMPLETION (Article 15)

- A. ADD to paragraph 15.1 The Owner will after receipt of the Certificate for Payment, pay the Contractor an amount to be determined by taking 95% of the value of labor and materials incorporated in the work but accepted by the Architect under provisions of the contract documents, up to the date of payment proposed to be made, less the aggregate of all the previous payments and deductions provided for in the contract documents. The 5% withheld shall be retained by the Owner pursuant to Chapter 60.28 RCW. The retainage shall be paid by the Owner according to law, without additional request by the Contractor or Certification by the Architect within 60 days of Final Completion, provided the Owner has received Release from the Department of Revenue and Prevailing Wage Documents from Labor and Industries for the Contractor and each Subcontractor.
- B. ADD to paragraph 15.2 Payments require City Council approval. An Application for Payment must be submitted a minimum of 10 days prior to a City Council meeting in order to be considered at said meeting. City Council meets on the 2<sup>nd</sup> and 4<sup>th</sup> Wednesday of each month.

#### INSURANCE (Article 17)

- A. ADD to paragraph 17.1 The Contractor's Comprehensive General Liability Insurance and automobile Liability Insurance shall be in an amount not less than One Million Dollars (\$1,000,000) for injuries, including accidental death, to any one person and subject to the same limit for each person, and in an amount not less than Two Million Dollars (\$2,000,000) per occurrence. The Contractor's Property Damage Liability Insurance shall be in an amount not less than Two Million Dollars (\$2,000,000) per occurrence. The Contractor shall furnish a Performance Bond in an amount to one hundred percent of the Contract Sum as security for the faithful performance of this Contract. The contractor shall also furnish a Labor and Material Payment Bond in an amount not less than one hundred percent of the Contract Sum or in a penal sum not less than that prescribed by State, or Local law, as security for the payment of all persons performing labor on the Project under this Contract and furnishing materials in connection with this Contract. The Performance Bond and Labor and Material Payment Bond may be in one or separate instruments in accordance with Local law and shall be delivered to the Owner not later than the date of execution of the Contract.
- B. ADD to paragraph 17.1 Builder's Risk: Contractor to provide "Builder's risk" Insurance for the duration of the Project to include all risks including but not limited to fire, vandalism, contractor negligence or error, and structural damage.
- C. DELETE paragraph 17.2, 17.3, 17.4, 17.5, and 17.6.

END OF SECTION

## SUMMARY OF WORK

- A. General Conditions and Division 1 - General Requirements govern the Work of all Sections of the Specifications.
- B. The relocation of an existing building located at Bingham Park, Sedro-Woolley to another location within the Park as follows: The existing utilities shall be disconnected and capped. The existing building (from the sill plates up) shall be lifted from the existing foundation and moved to the new location within Bingham Park. A new concrete stemwall foundation and wood framed floor structure shall be constructed under the existing building. The building shall be lowered and secured to the new foundation. Holes created in the existing walls for the relocation of the building shall be patched to match existing. The new connection to water supply, sanitary sewer, natural gas, and electric power. The installation of foundation drains, storm drains and infiltration trenches, backfill and asphalt paving. Work by others not in contract (NIC) as follows: The demolition and removal of the existing foundation.
- C. Persons performing Work shall examine surfaces to receive their Work and shall report in writing to Contractor, with copy to Architect, conditions detrimental to Work. Failure to examine and report makes the person responsible, at no increase in Contract Sum, for corrections Architect may require. Commencement of Work constitutes acceptance of surface.

## PAYMENT PROCEDURES

- A. At the first Project Meeting for each building the contractor shall submit to the Architect and Owner a Schedule of Values for that building, AIA Document G703.
- B. A separate Schedule of Values and separate Applications for Payment are required for each building.
- C. Payments require City Council approval. An Application for Payment must be submitted a minimum of 10 days prior to a City Council meeting in order to be considered at said meeting. City Council meets on the 2<sup>nd</sup> and 4<sup>th</sup> Wednesday of each month.

## PROJECT COORDINATION

- A. General:
  - 1. Coordinate with Work of other Sections to ensure that all fixtures, devices, switches, outlets, ducts, pipes, and similar items can be installed as shown without modifications to framing. Provide all blockouts, raceways and similar framing as required.
  - 2. Coordinate the Work; do not delegate responsibility for coordination to any subcontractor.
  - 3. Anticipate interrelationship of all subcontractors and their relationship with the total Work.
  - 4. Resolve differences or disputes between subcontractors and materials suppliers concerning coordination, interference, or extent of Work between Sections. Contractor's decisions, if consistent with Contract Document requirements, shall be final.
  - 5. Verify all dimensions on site. All dimensions are to face or centerline of framing members and concrete unless otherwise shown or noted.

## PROJECT MEETINGS

- A. Prior to commencement of Work, a Preconstruction Conference will be held to discuss procedures to be followed.
- B. Location: A site as convenient as possible for all parties, designated by the Architect.
- C. Attending shall be:
  - 1. Owner's Representative.
  - 2. Architect.
  - 3. Contractor.
  - 4. Subcontractors, Suppliers and Others as appropriate.
- D. Prior to commencement of Work, the Contractor shall schedule a walk-through with the Owner and Architect to document the condition of the Existing Building.
- E. Progress Meetings:
  - 1. Prepare agenda, schedule, and hold weekly Progress Meetings (or as may be required by progress of the Work).
  - 2. The Architect shall record agreed action and resolutions in minutes of meeting and distribute to attending parties within 3 working days.
  - 3. Location: City Hall, 325 Metcalf Street, Sedro-Woolley (or as appropriate)
  - 4. Attending shall be:
    - a. Owner's Representative.
    - b. Architect.
    - c. Contractor.
    - d. Subcontractors, Suppliers and Others, as appropriate to the agenda.

## SUBMITTAL PROCEDURES

- A. Submittals may consist of Shop Drawings, Product Data, and Samples. Make submittals promptly and in such a manner as to cause no delay in the Work. Allow Architect 5 working days to respond to all submittals.
- B. Modify drawings, diagrams, and product data to delete information which is not applicable to the Work. Supplement standard information to provide information specifically applicable to the Work.
- C. Begin no fabrication or Work which requires submittals until return of Architect's final reviewed submittals.
- D. Submit a Progress Schedule to the Architect at the first Progress Meeting for each Building. Coordinate progress schedule with all Submittals. Progress Schedule may be a bar graph. The number of activities and structure of the Progress Schedule shall be adequate to explain the various stages of construction and shall be coordinated with Application and Certificate for Payment. Contractor shall update the Progress Schedule and Submittal Log during construction as required to keep them current and submit copies at each weekly meeting.

## REGULATORY REQUIREMENTS

- A. Requirements of regulatory agencies shall mean the latest printed edition of each in effect at the date of submission of Bids unless the document is shown dated.
- B. Perform the Work in conformance with applicable requirements of all regulatory agencies including, but not limited to, the following:
  - 1. International Building Code (IBC) 2006 Edition.
  - 2. International Electrical Code (ICC).
  - 3. International Mechanical Code (IMC).
  - 4. International Plumbing Code (IPC).
  - 5. Washington State Energy Code.
  - 6. Washington State Regulations for Barrier-Free Design.

## DEFINITIONS

- A. Terms used on the Drawings or in the Specifications in addition to those shown in General Conditions shall have the following meanings:

TERM	MEANING
As Directed	"By the Architect"
As Required	"By Code; by good building practice; by the condition prevailing; by Contract Documents; by Owner, or by Architect"
As Selected	"By Architect"
Equal	In the opinion of the Architect. The burden of proof of equality is the responsibility of the Contractor.
Furnish	"Supply and deliver to the Project ready for installation and in operable condition."
Install	"Incorporate in the Work in final position, complete, anchored, connected, and in operable condition."
NIC	Not in Contract
Project	Total construction of which Work performed under the Contract Documents may be the whole or a part.
Provide	"Furnish and install complete." When neither "furnish", "install", nor "provide" is stated, "provide" is implied.
Shown	"As indicated on the Drawings"
Specified	"As written in the Project Manual"
Substantial Completion	"The stage in the progress of the Work when the Work or designated portion thereof is sufficiently complete in accordance with the contract documents so that the Owner can occupy or utilize the Work for its intended use as Certified by the Architect"
Final Completion	"The stage in the progress of the Work when the Architect finds the Work acceptable and the contract fully preformed including Closeout Procedures. Final Payment will be made after Final Competition"

## TEMPORARY FACILITIES AND CONTROLS

- A. Obtain and pay for all special permits and licenses and give all notices required for providing construction facilities and temporary controls.
- B. Construction facilities and temporary controls shall conform with applicable requirements of the following:
  - 1. Associated General Contractors of America (AGC): Manual of Accident Prevention in Construction.
  - 2. International Building Code (IBC), International Electrical Code (ICC), and International Plumbing Code (IPC): Applicable Chapters and Sections.
- C. No water service is presently available at the Sites. Contractor shall coordinate all work accordingly.
- D. Provide and maintain temporary electrical service if needed. Contractor may take electric energy, at Owner's expense, in such quantities and at such times as they are available from Owner's electric systems respectively.
- E. Provide and maintain a portable chemical toilet at a location approved by Owner, if needed. Contractor's option to use the portable Public Toilet at Bingham Park.
- F. Provide telephone with answering service. Contractor to respond to all calls within 1 work day of message except as may be agreed to in advance.
- G. Provide and maintain suitable temporary barriers as required to prevent public entry. The City has obtained a Right of Entry from the neighbor to the South and West of the Existing Building Location. The Contractor agrees to coordinate with the neighbor to install a temporary fence in their yard. The Contractor also agrees to restore their yard to it's original condition, or better, when done.
- H. Temporary Controls: The Washington State Clean Air Act requires the use of all known, available, and reasonable means of controlling air pollution, including dust. Control dust generated during construction activities by wetting dust sources such as areas of exposed soils, washing truck wheels before they leave the Site, and installing and maintaining gravel construction entrances. Construction vehicle track-out is also a major dust source. Any evidence of track out can trigger violations and fines from the Department of Ecology or the Puget Sound Air Pollution Control Agency. (SEPA Natural Environment/Air Quality Policies).
- I. Mitigation of Damages: During construction protect all adjacent property and structures from damage due to and including, but not limited to, subsidence, erosion and inundation. Mitigation of damages caused by Contractor's operations shall be the sole responsibility of the Contractor.

## PRODUCT REQUIREMENTS

- A. All material and equipment incorporated in the Work shall be new, unless otherwise specified; in condition acceptable to the Architect; suitable for the intended use.
- B. Provide products complete with all accessories, trim, finish, fasteners and adhesives, and other devices and details required for the intended use and effect.
- C. Product Options and Substitutions:
  - 1. Whenever a product is specified by using a proprietary name or the name of a particular manufacturer or vendor, the specific item mentioned shall be understood as establishing type, function, dimension, appearance, and quality desired. Other manufacturer's products will be accepted provided sufficient information is submitted to allow the Architect to determine that products proposed are equivalent to those named.
  - 2. If the Contractor desires to use any other brand, make, or manufacturer of equal quality, appearance, and utility to the product specified, substitution shall be requested as provided herein.
  - 3. Requests for substitution shall be made by the Contractor and constitute representation that Contractor:
    - a. Has investigated proposed product and determined that it meets or exceeds, in all respects, the specified product.
    - b. Shall provide the same or better warranty for substitution as for specified product.
    - c. Shall be responsible for effect of substitution upon related Work, shall coordinate installation, and be responsible for other changes which may be required for Work to be complete in all respects, in compliance with design intent and in compliance with all applicable codes and regulatory requirements.
    - d. Be responsible for additional costs which may subsequently become apparent. This includes additional costs for required additional Architect's services made necessary by the substitution.
    - e. Shall provide all cost savings to Contract Sum as credits.
    - f. Shall provide specified product, material, or system should substitution be rejected, at no change in Contract Sum.
  - 4. Architect reserves the right to reject proposals due to insufficient information or failure to conform to requirements of Contract Documents. The Architect's decision shall be final.
  - 5. Formal request for all substitutions items must be submitted to Architect by May 26<sup>th</sup>, 2009. It is the Contractor's obligation to provide adequate information. After that period only specified item unavailability will be considered as legitimate reason for substitution request or as determined by the Architect. Product unavailability shall be verified in writing by manufacturer.

## EXAMINATION AND PREPARATION

- A. Inspect the Site and location of the Work and become acquainted with and understand all conditions relating to the Work to be performed under this Contract.
- B. Owner shall locate and stake out property corners and building corners prior to construction as will be necessary for the contractor's location of the building
- C. Contractor shall be responsible for accuracy and correctness of lines, grades, and for establishing location of buried utility lines. Call 1-800-424-5555 48 hours prior to excavation

## CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL

- A. The Owner desires that this Project shall generate the least amount of waste possible and that processes that ensure the generation of as little waste as possible due to error, poor planning, breakage, mishandling, contamination, or other factors be employed.
  - 1. Of the inevitable waste that is generated, as many of the waste materials as economically feasible shall be reused, salvaged, or recycled. Waste disposal in landfills shall be minimized.
  - 2. With regard to these goals the Contractor shall develop a Construction Waste Management Plan for this Project which shall include the following:
    - a. Analysis of the proposed jobsite waste to be generated, including types and estimated quantities. Designate an on-site location for the safe and secure storage of Construction Waste. Schedule periodic disposal.
      - 1) Cardboard.
      - 2) Clean dimensional wood.
      - 3) Land clearing debris.
      - 4) Concrete.
      - 5) Thermal and acoustical insulation.
      - 6) Gypsum board.
      - 7) Metals from banding, stud trim, ductwork, piping, reinforcing steel, roofing; other trim, steel, iron, galvanized sheet steel, stainless steel, aluminum, copper, zinc, lead, brass, bronze.
    - b. Landfill Options: Name and location of landfill(s) where construction waste will be disposed of, applicable tipping fees, and projected cost of disposing of all Project construction waste in the landfill(s).
    - c. Alternatives to Land Filling: A list of construction waste materials from the Project that will be separated for reuse, salvage, or recycling.

## CLOSEOUT PROCEDURES

- A. Progress Cleaning:
  - 1. Weekly, and more often if necessary, inspect the structure and site; pick up all scrap, debris, and waste material. Remove such items in accordance with the Construction Waste Management Plan.
  - 2. Weekly, and more often if necessary, sweep interior spaces clean.
  - 3. Maintain the site in a neat and orderly condition at all times.
  
- B. Final Cleaning: Prior to final inspection, thoroughly clean building and remove construction waste from jobsite.
  
- C. Project Record Documents:
  - 1. At a time nearing completion of the Work, obtain from the Architect one complete set of Construction Drawings. Identify each of the Drawings with the title, "RECORD DRAWINGS - JOB SET."
  - 2. Do not use the job set for any purpose except entry of new data and for review by the Architect.
  - 3. Carefully transfer change data to the corresponding drawings using a red ink pen, coordinating the changes as required. Call attention to each entry by drawing a "cloud" around the area or areas affected. Make changes neatly and consistently, to assure longevity and clear reproduction.
  - 4. Prior to submitting request for final payment, submit final Project Record Documents to the Architect and secure approval.
  
- D. Operation and Maintenance Data:
  - 1. No Operation and Maintenance Data will be required.
  
- E. Warranties and Bonds: Assemble warranties, bonds, and service and maintenance contracts executed by each of the respective manufacturers, suppliers, and subcontractors. Submit prior to final request for payment.

END OF DIVISION 01

**Description of the Work**

The relocation of a 1,725 sf Existing Building for the Sedro-Woolley Parks Department. The New construction of a foundation and wood framed floor. Selected utilities to the building and associated work.

**Project Team**

**Owners Representative:** Eron Berg, City Supervisor  
The City of Sedro-Woolley  
325 Metcalf Street  
Sedro-Woolley, WA 98284  
phone: 360-855-1661

**Architect:** Mark Christ  
Mark E. Christ, Architect  
810 Bennett Street  
Sedro-Woolley, WA 98284  
phone: 360-855-1546

**Drawing Index**

A1 Vicinity Map, Site Plan  
A2 Foundation Plan, Floor Framing Plan  
A3 Building Section, Foundation Details

**Zoning Ordinance Information**

**Present Zone:** Public Zone (P)  
**Permitted Use:** Public Uses, Quasi-public Uses  
**Min. Setbacks:** None  
**Max. Building Height:** 35 FT  
**Min. Lot Area:** None  
**Min. Lot Width:** None  
**Min. Lot Frontage:** 20 FT  
**Parking 17.36.030(I):** Assembly. 1 Space/3 occupants

**2003 IRC Building Code Information**

**Occupancy:** Group A-3, assembly  
**Construction:** VB nonrated  
**Basic Allowable Area:** 6,000 sf  
**Allowable Stories:** 1 story  
**Allowable Height:** 40 ft  
**Occupant Load:** Assembly, 15 sf/ occupant = 77  
Kitchen, 200 sf/ occupant = 3

**Structural**  
**Soil Bearing Pressure:** Assumed @ 1,500 psf  
**Roof Live Load:** 25 psf  
**Floor Live/Snow Load:** 40 psf uniform load  
**Seismic Zone:** D1  
**Wind Speed:** 85 mph  
**Exposure:** B

**NREC Nonresidential Prescriptive Requirements**

**Climate Zone:** Zone 1  
**Space Heat Type:** All Others (natural gas)  
**Roofs:** R=30  
**Opaque Walls:** R=19  
**Opaque Doors:** U=0.60  
**Slab On Grade:** R=10 (perimeter insulation)

**VAC**  
Mechanical Contractor to provide Compliance Information

**1.0 GENERAL**

**1.1 APPLICABLE CODE**  
The design and construction of this structure shall conform with the provisions of the International Building Code 2006 edition. For a determination of conflicting codes or information contained herein, consult the architect or building official.

**1.3 FIELD VERIFICATION**  
Contractor shall verify all dimensions, locations and field conditions prior to construction. Report any deviations to the architect for resolution.

**1.5 RESPONSIBILITY**  
Contractor is responsible for confirming and correlating dimensions and quantities at the job site; fabrication and erection processes and techniques; safe construction methods; coordination of work with other trades and contractors; and satisfactory performance of work in conformance with contract documents. The Architect shall not be held accountable for damages due to changed of dimensions, member sizes, connection details, or substitution of materials initiated and/or authorized by others without written concurrence of the Architect.

**2.0 SITE WORK**

**2.1** Locate underground utilities prior to construction. Call 1-800-424-5555 48 hours prior to excavation.

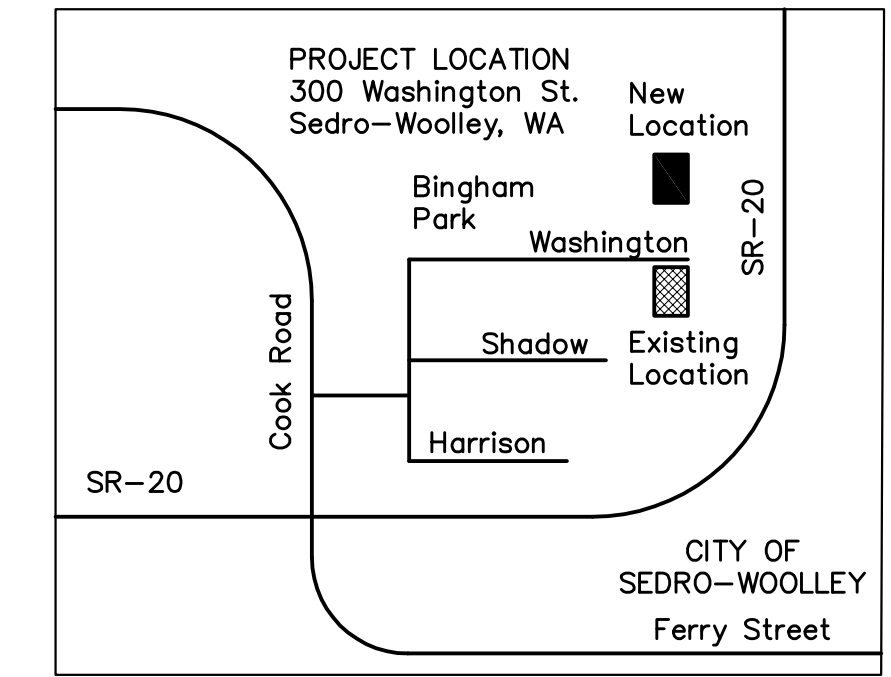
**2.2** Remove all vegetation and organic matter to a minimum depth of 12 inches below proposed building site. Slopes of excavations, 4' deep or greater shall not be steeper than 2 horizontal to 1 vertical unless engineering geologist's report indicates steeper slope stability. Stockpile in approved location for later redistribution.

**2.3** Erosion control methods as required by the Building Department shall be employed prior to and during construction and maintained until permanent vegetation is established. Sediment control shall consist of the installation of Filter Fabric Fence or Straw Bale Barrier, extent, location, and as directed by the Planning & Permit Center.

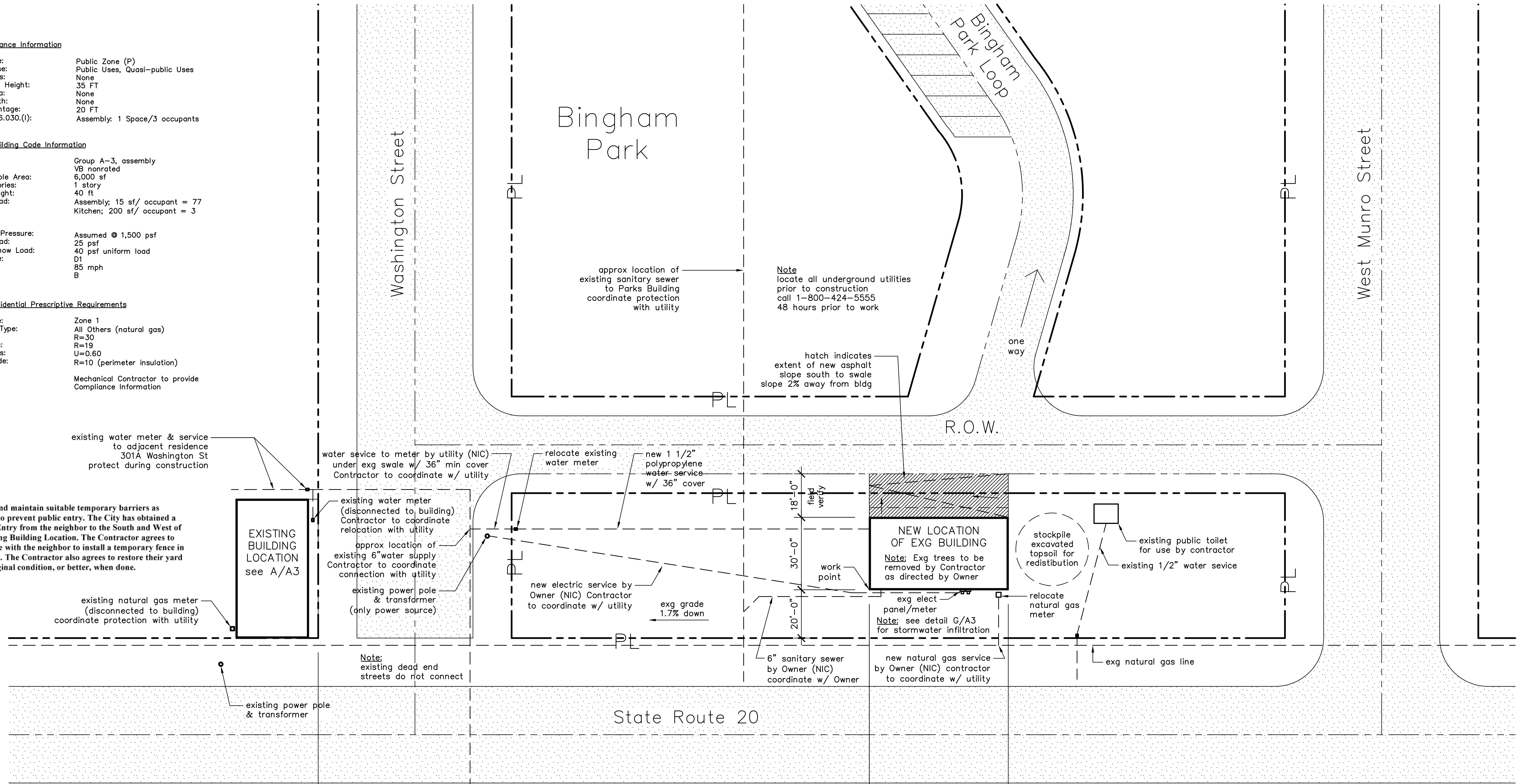
**2.4** The difference in elevation between the top of the exterior foundation and the drainage discharge point shall be 12 inches plus 2%. Foundation drains shall be 4 inch diameter perforated PVC or ABS pipe. Drainage shall slope @ 2% to a discharge point located a minimum of 20 feet from the building.

**Copyright:**

The specific purpose of these documents is to relocate an existing 1,725 sf Building located at Bingham Park in Sedro-Woolley, Washington for The City of Sedro-Woolley. All designs, plans, ideas, or arrangements indicated or represented by these documents were created, developed or evolved for use on and in connection with this project and are the property of the architect. Reprinting, disclosure or use of these documents or their contents for other than the intended purpose by any individual or individuals is expressly forbidden without the written permission of the architect. Copyright Mark E. Christ, Architect, 2009



Vicinity Map  
NTS



Site Plan  
1"=20'-0"

( approximate location ONLY coordinate exact location w/ Owner prior to construction )

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810 Bennett Street  
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phone (360) 855-1546

Bingham Park  
Building Relocation

Date:  
04/27/09

Sheet:  
A1

**3.0 CONCRETE & REINFORCING**

3.1 Concrete shall develop a 28 day compressive strength as follows:  
 Footings:  $f_c = 2500$  psi (minimum)  
 Slabs-on-grade:  $f_c = 2500$  psi,  $w/c = 0.50$  maximum  
 5 1/2 sack (minimum) w/ midrange water reducer  
 Concrete exposed to freeze/thaw cycle shall be proportioned with 4% minimum to 7% maximum air entrainment. Concrete exposed to freeze/thaw cycles and deicing chemicals shall, in addition, be proportioned with a minimum 520 pounds of cement per cubic yard of concrete.

3.2 Where not shown on drawings, construction joints shall be placed as approved by the architect. Joints (including those to old concrete) shall be clean, free of laitance, and shall have a roughened surface of 1/4 inch or greater amplitude. Joints shall be dampened for at least 30 minutes prior to the placement of the next level of concrete, but shall be free of standing water. Where not shown otherwise, chamfer all above-grade edges by 3/4 inch. Contraction joints shall be saw-cut in green concrete to a depth equal to 1/4 the slab thickness and shall be spaced no greater than 12' o.c.

3.3 All reinforcing, metal inserts, dowels, bolts and anchors (except expansion anchors, shall be placed accurately and held firmly in place before concrete is placed. These items shall not be inserted in fresh concrete.

3.4 Reinforcing shall be new, deformed bars conforming to A.S.T.M. A615, grade 60. Welded wire fabric shall conform to A.S.T.M. A185.

3.5 Minimum concrete cover from face of reinforcing to face of concrete shall be:  
 3" where concrete is cast against soil  
 3" where concrete is formed, but exposed to water  
 2" where concrete is formed, but exposed to soil  
 1-1/2" at exterior face of walls and slabs  
 3/4" at interior face of walls and slabs

3.6 Reinforcing shall be lapped 40 bar diameters at splices. All corners shall be provided with corner bars lapped 40 bar diameters.

3.7 Anchor bolts cast in concrete shall be A.S.T.M. A307. Minimum embedment shall be 8 diameters, but not less than 7" and shall terminate in concrete with a standard hex head or equivalent deformation unless otherwise noted.

3.8 Install horizontal extra #4 reinforcing within 4" of construction joints, slab edges, at all reentrant corners & around interior column penetrations.

3.9 Aluminum conduit and accessories shall not be embedded in concrete.

3.10 Concrete shall be protected from damage due to temperature extremes and moisture loss during curing in accordance with ACI Standards of Recommended Practice ACI-305 and ACI-306.

**6.0 WOOD FRAMING**

6.1 Structural sawn lumber shall conform with the design values of the species and grades listed unless otherwise noted:

Use	Species & Grade
Posts & Beams	DF-L No. 1
Exterior & Bearing Wall	
Studs, Plates & Sills	DF-L No. 2 or Better
Preservative Treated Sills	HF No. 1
Roof & Floor Joists	DF-L No. 2 or Better
Interior & Non-Bearing Wall	
Studs, Plates & Sills	DF-L Standard or Better

5.2 Wood in contact with concrete of exposed to weather shall be treated with an approved preservative in accordance with I.B.C. sec. 2303, 1-3.

5.3 Solid blocking not less than 2" nominal thickness shall be installed at all joist and rafter ends and supports. Maximum distance between blocking shall be 8'-0" o.c. @ floor joists & 10'-0" o.c. at roof joists. (Unless noted otherwise)

6.5 Plywood sheathing shall be fabricated with exterior glue and conform with the requirements of the American Plywood Association (A.P.A.) rated sheathing and shall have the following minimum thickness and span ratings, unless otherwise noted:

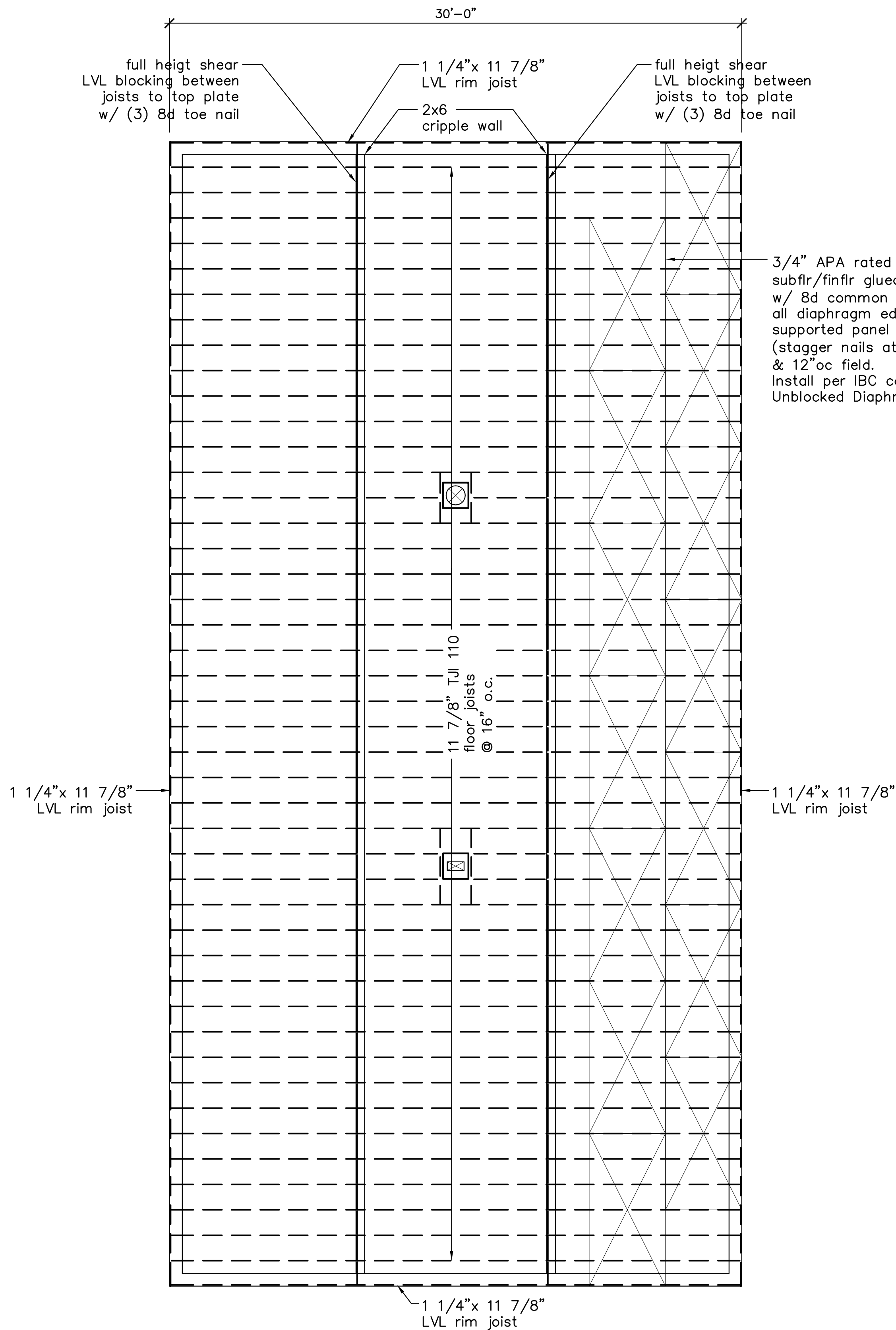
Roof Sheathing: 7/16", 24/0, APA rated PWD sheathing  
 Wall Sheathing: 7/16", 24/0, APA rated PWD sheathing (except where shearwall requirements govern)

Stagger sheathing and provide support at all panel edges by the use of clips, tongue and groove joints or other positive means recommended by A.P.A. where not otherwise shown as fully blocked.

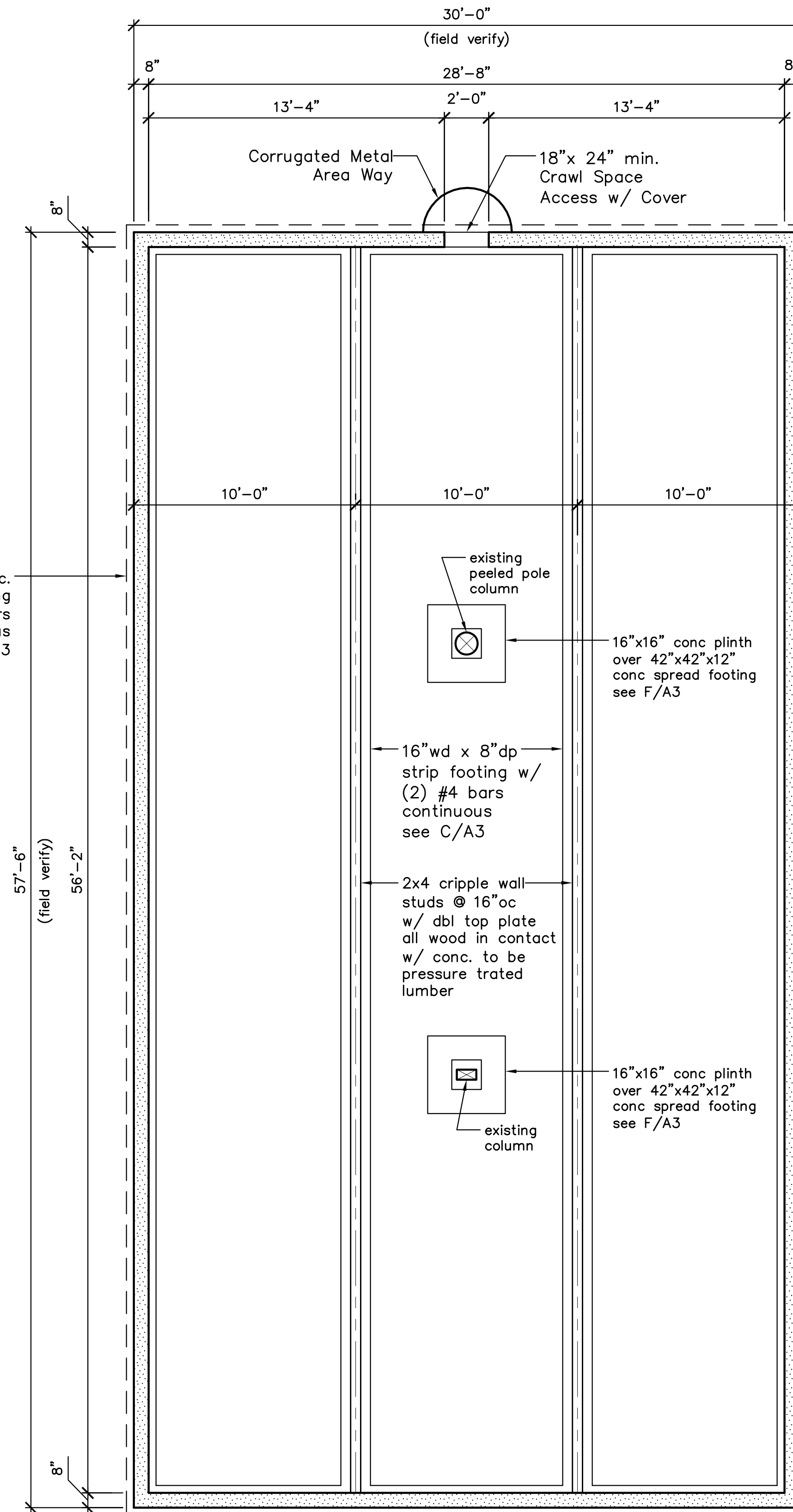
6.6 Nails shall be common wire nails. Staples and/or other power driven fasteners with equivalent capacity of the fastener detailed may be substituted ONLY with the prior approval of the local building official and the architect of record. Nailing shall be in accordance with I.B.C. Table No. 2304.9.1 Fastening Schedule, except where diaphragm nailing governs and where otherwise noted.

6.7 Framing devices, beam and joist hangers shall be as detailed on the construction drawings and shall have a capacity equal to the shear strength of the supported beam or joist, unless otherwise noted.

6.8 Manufactured wood trusses shall be designed and fabricated in accordance with chapter 23 of the I.B.C. using Douglas Fir-Larch members. All truss plates shall be designed to transmit 100% of the member load determined by the truss analysis. The heel connections shall be designed considering the effects of eccentric loading. The Manufacturer shall submit shop drawings prepared by a structural engineer registered in the State of Washington to the Building Official for review prior to fabrication. Verify all truss lengths in the field prior to fabrication. Shop drawings shall call for, and detail, bridging and bracing requirements for top and bottom chords and web members.



**B** Floor Framing Plan  
 1/4"=1'-0"



**A** Foundation Plan  
 1/4"=1'-0"

**Note:**  
 Coordinate bottom of footing and finish floor elevation w/ Architect prior to construction. Owner shall employ Engineer to verify SBP after excavation prior to concrete formwork. Coordinate timing w/ Architect.

**Note:**  
 1,725 sf. unheated crawl space w/ 6 Mil. V.B. lap & tape joints provide 2" min conc skim coat equally space cast-in-place foundation vents w/ bug screens (north, south and east side only) to provide cross ventilation w/ a net open of 11.5 sf min.

16"x8" conc. strip footing w/ (2) #4 bars continuous see D/A3  
 8" conc. stem wall w/ #4 bars vert. @ 24" o.c. w/ #4 bars horiz. @ 24" o.c. w/ 1/2" A.B.s @ 6' o.c. 12" min from all sill plate ends

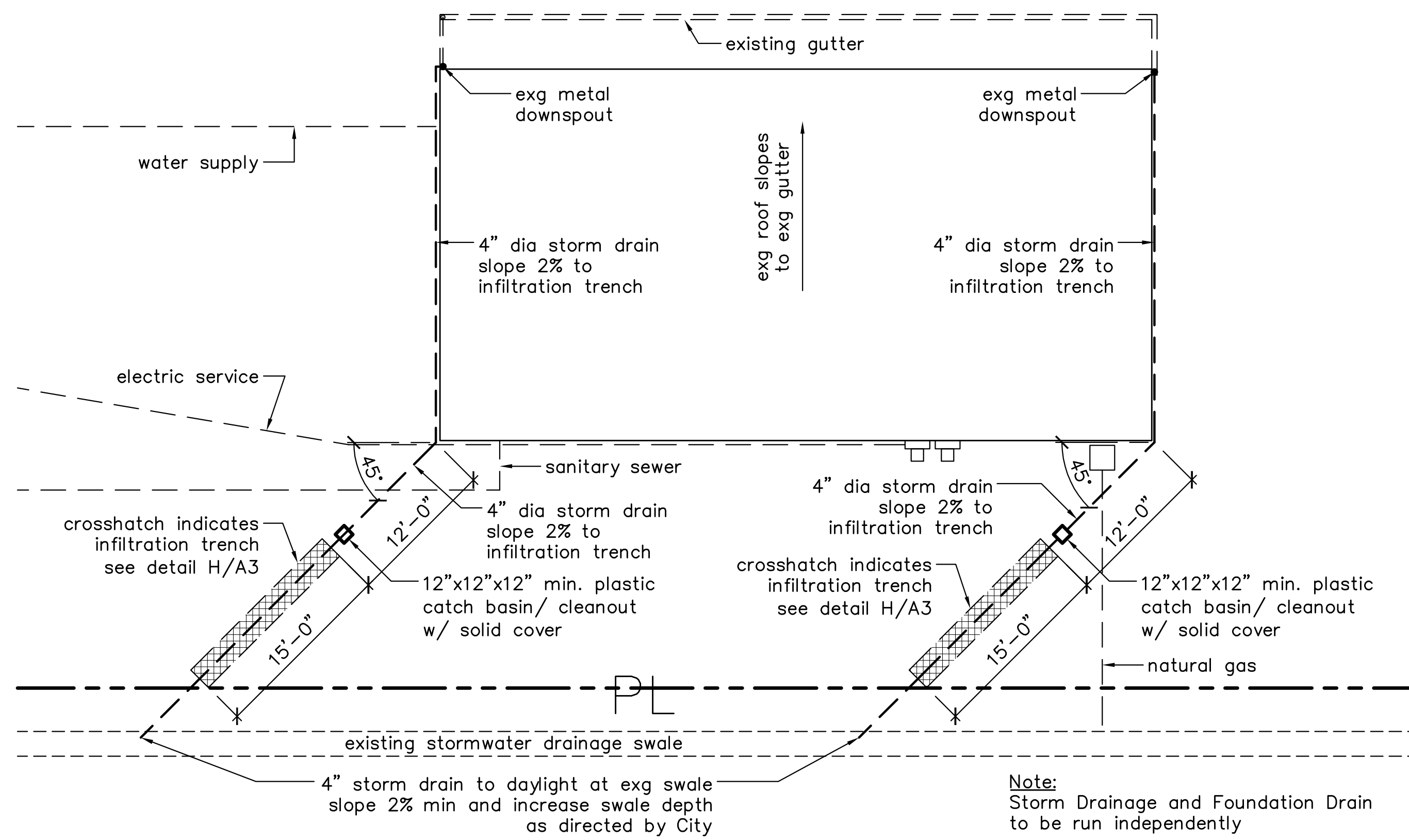
**Notes:**  
 1) Coordinate connection to all Utilities (except electric) prior to construction. (for stub-in only)  
 2) Perform excavating and backfill as required for foundation, utilities, and services. Bottoms of excavations shall be level, firm, undisturbed earth, clean and free from loose material.  
 3) 6" minimum gravel base: Compact all pit-run fill under concrete to 95 percent of maximum dry density at optimum moisture content using a vibrating compactor. 8" maximum lifts.  
 4) Vapor Barrier: 6 mil polyethylene sheeting overlap 12" minimum at all joints. Tape all joints with pressure-sensitive neoprene or vinyl-chloride rubber adhesive and tape.

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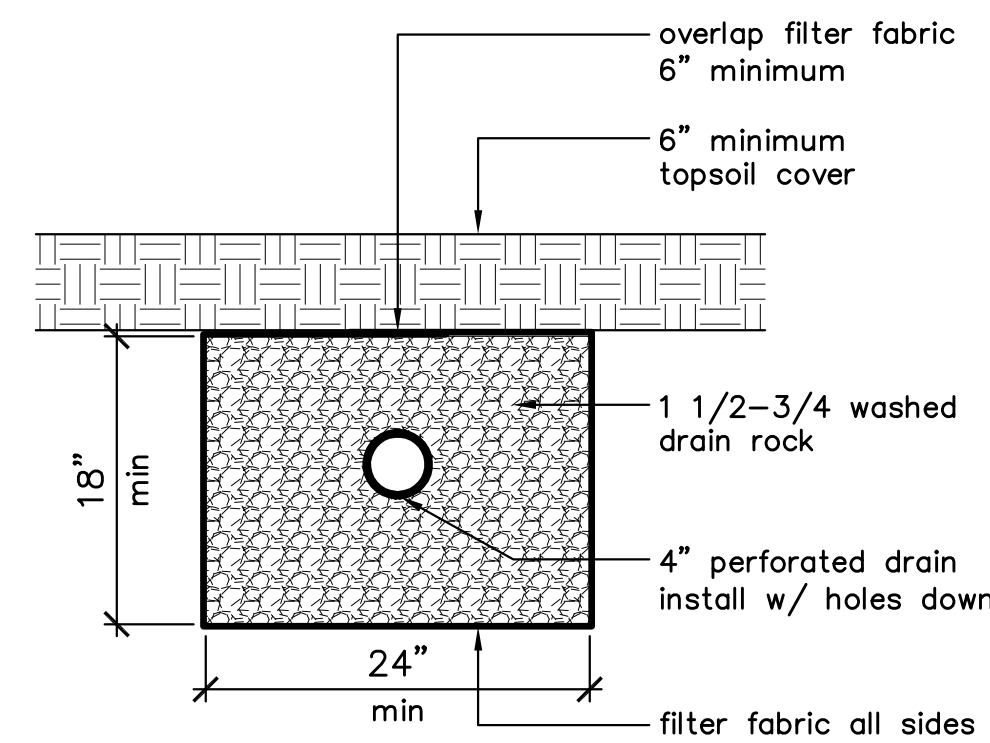
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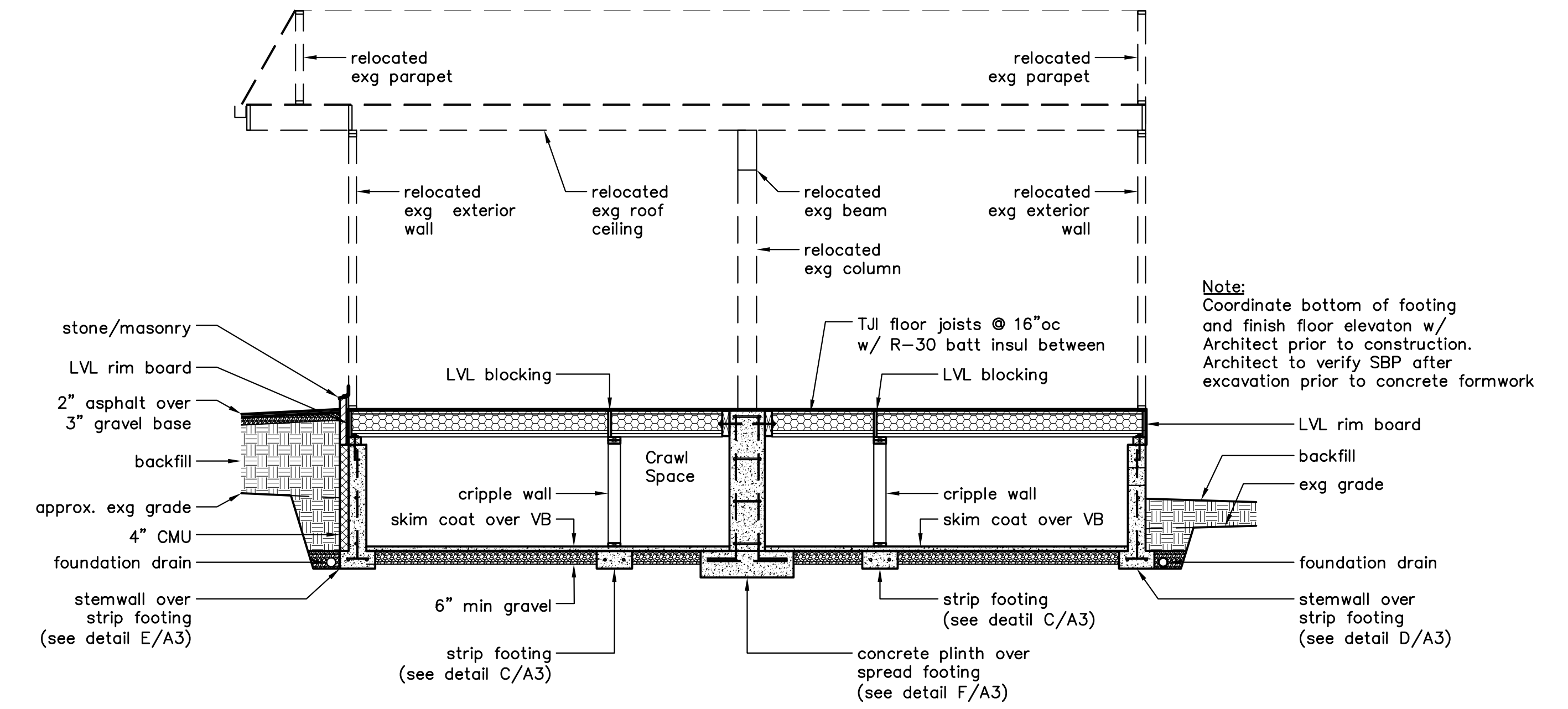
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**G Storm Water Infiltration**  
1/8"=1'-0"

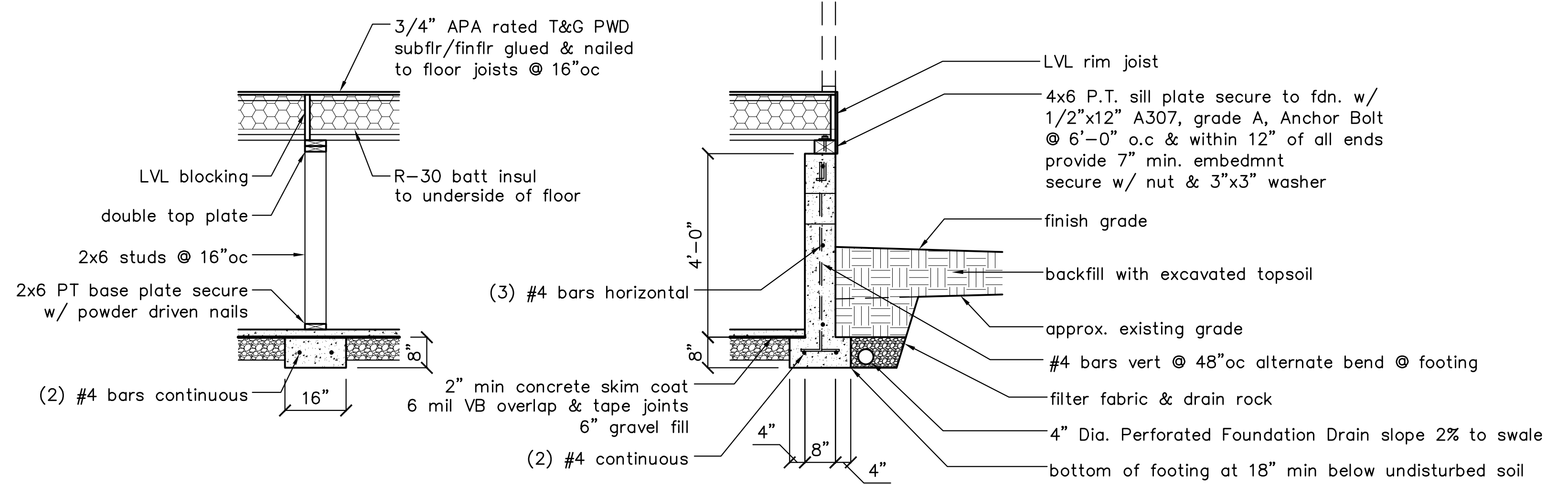


**H Trench Detail**  
1"=1'-0"



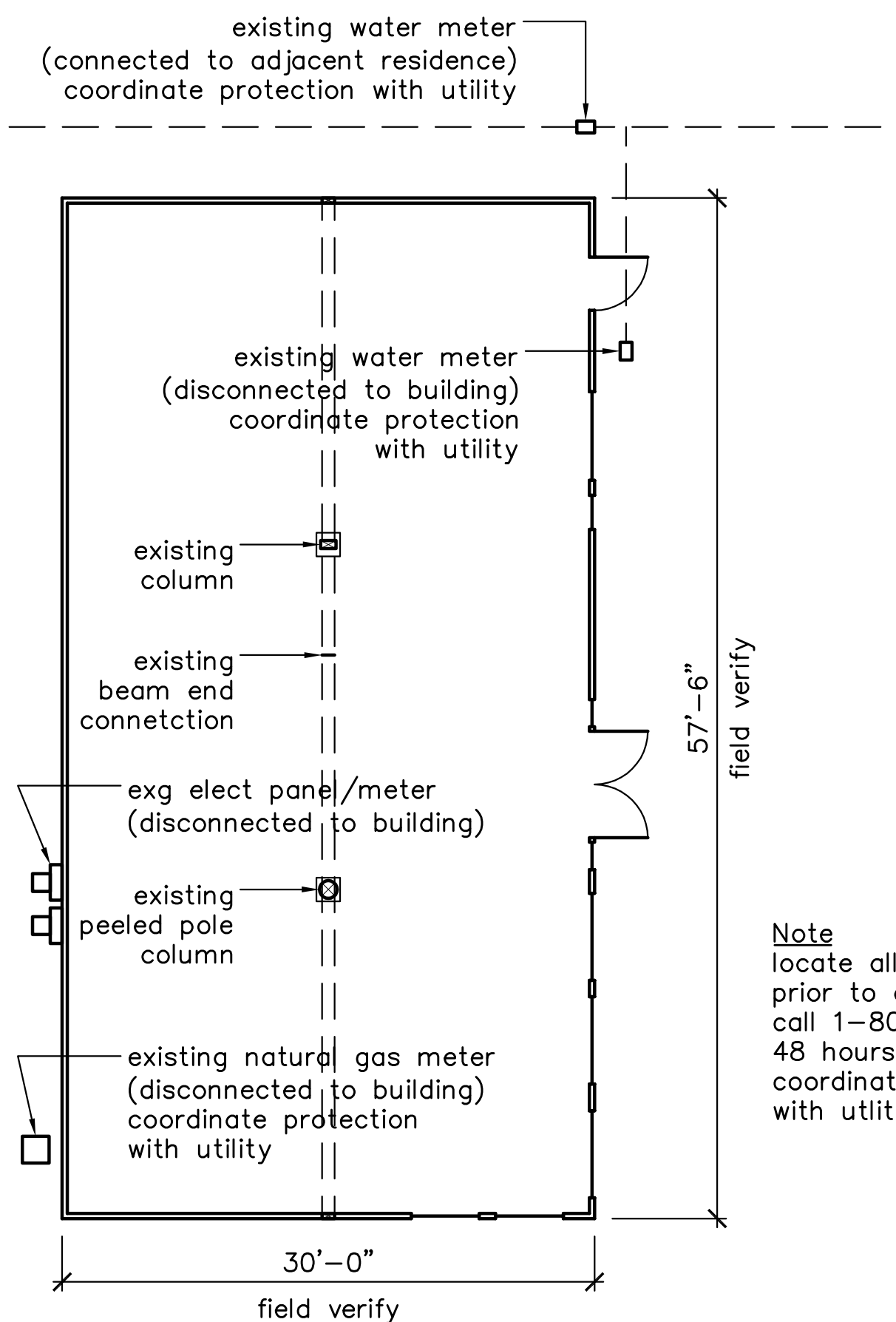
**B Building Section**  
1/4"=1'-0"

**Note:**  
Coordinate bottom of footing and finish floor elevation w/ Architect prior to construction. Architect to verify SBP after excavation prior to concrete formwork



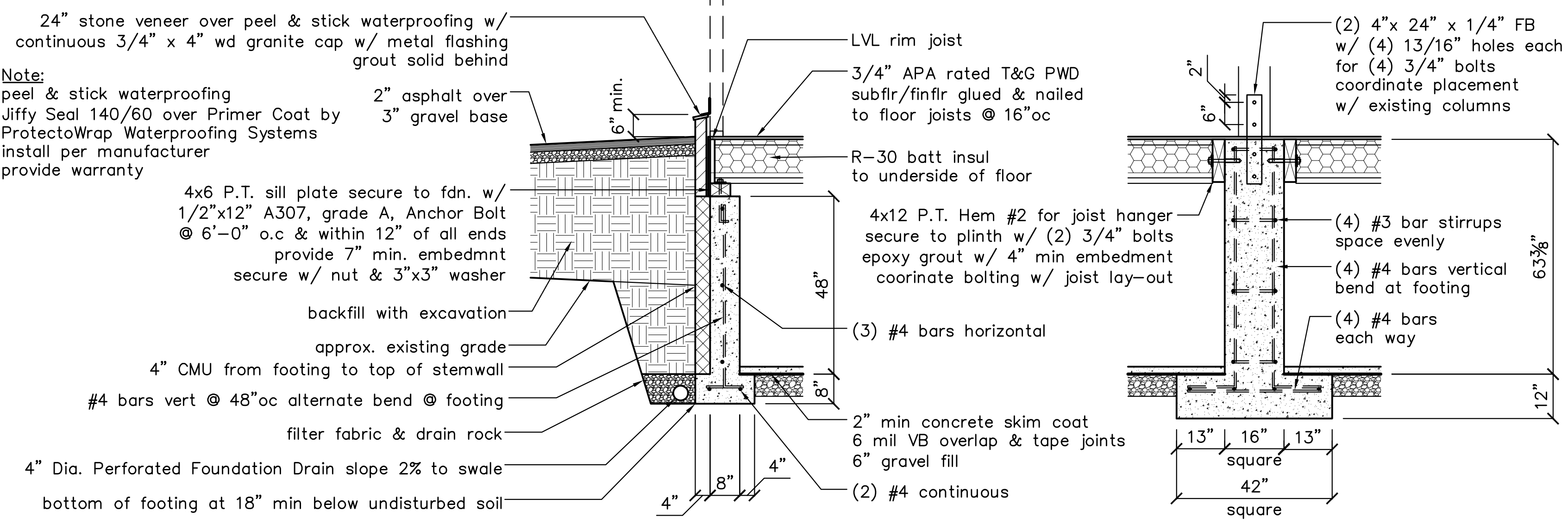
**C Foundation Detail**  
1/2"=1'-0" (typical of 2 locations)

**D Foundation Detail**  
1/2"=1'-0"



**A Existing Floor Plan**  
1/8"=1'-0"

**Note:**  
locate all underground utilities prior to construction call 1-800-424-5555 48 hours prior to work coordinate protection with utility



**E Foundation Detail**  
1/2"=1'-0"

**F Foundation Detail**  
1/2"=1'-0" (typical of 2 locations)

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